

Response to Applicant - Partial Access Granted  
Form 4B

June 19, 2018



Dear [REDACTED]

**Re: Your request for access to information under Part II of the Access to Information and Protection of Privacy Act [Our File #:18-09]**

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On June 8, 2018, the Town of Conception Bay South received your request for access to the following records:

*Copy of the building plans submitted for the construction of [REDACTED]*

I am pleased to inform you that a decision has been made by the Chief Administrative Officer for the Town of Conception Bay South to provide access to some of the requested information. In particular, access is granted to the following records:

*Copy of the approved building plans submitted for the [REDACTED]*

Access to the remaining records, and/or information contained within the records, has been refused in accordance with the following exceptions to disclosure, as specified in the Access to Information and Protection of Privacy Act (the Act):

**Disclosure harmful to personal privacy**

40. (1) The head of a public body shall refuse to disclose personal information to an applicant where the disclosure would be an unreasonable invasion of a third party's personal privacy.

As required by 8(2) of the Act, we have severed information that is unable to be disclosed and have provided you with as much information as possible.

In accordance with your request for a copy of the records, the appropriate copies have been enclosed.

Please be advised that you may appeal this decision and ask the Information and Privacy Commissioner to review the decision to provide partial access to the requested information, as set out in section 42 of the Act (a copy of this section of the Act has been enclosed for your reference). A request to the Commissioner must be made in writing within 15 business days of the date of this letter or within a longer period that may be allowed by the Commissioner. Your appeal should identify your concerns with the request and why you are submitting the appeal.

The appeal may be addressed to the Information and Privacy Commissioner is as follows:

Office of the Information and Privacy Commissioner  
2 Canada Drive  
P. O. Box 13004, Stn. A  
St. John's, NL. A1B 3V8

Telephone: (709) 729-6309  
Toll-Free: 1-877-729-6309  
Facsimile: (709) 729-6500

You may also appeal directly to the Supreme Court Trial Division within 15 business days after you receive the decision of the public body, pursuant to section 52 of the Act.

If you have any further questions, please contact me by telephone at 834-6500 ext 104 or by email at [jfifield@conceptionbaysouth.ca](mailto:jfifield@conceptionbaysouth.ca)

Sincerely,

**TOWN OF CONCEPTION BAY SOUTH**

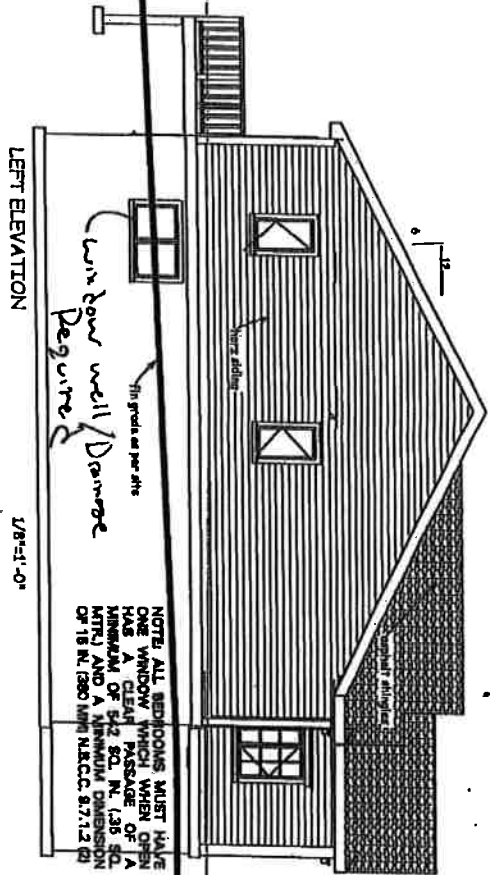


Jody Fifield  
ATIPP Coordinator

Enclosures



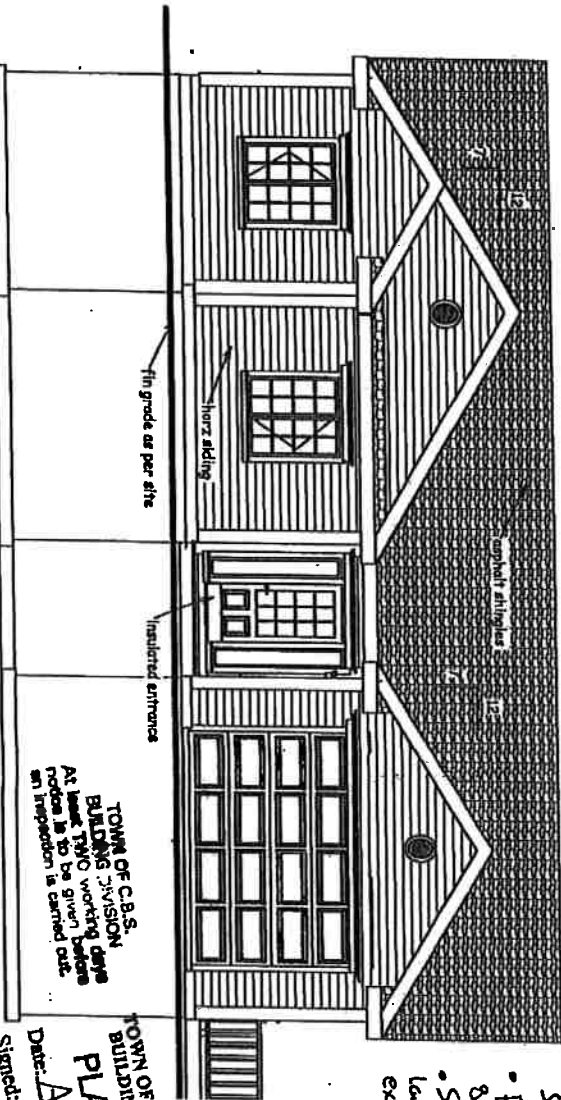
Section 40 exception



LEFT ELEVATION

1/8"=1'-0"

Window well Damage Required



FRONT ELEVATION

3/16"=1'-0"

These drawings are the property of RJ Robere and cannot be reproduced or used for the construction of more than one project with our permission.

- Top of concrete is to be raised to accommodate gravel footer on 8" foundation
- Finished gable shall be the same as shown on the gabling plan (note as possible).
- Siding to be lowered to base of gable and adherence to local codes and extended concrete conditions are required.

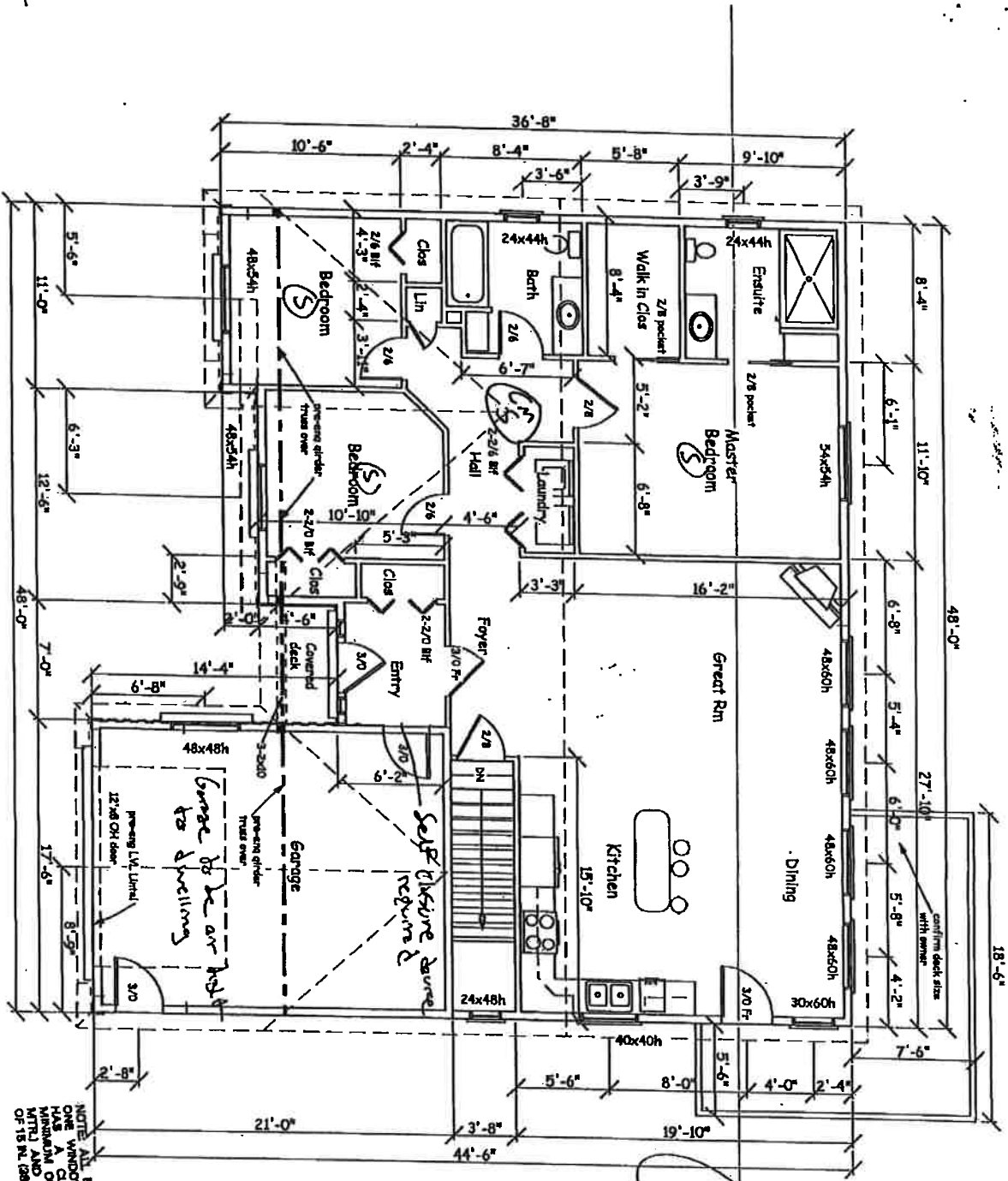
All wall measurements are to floor finish.  
Window type & sizes shown are copy prints only. Rough openings to be supplied by manufacturer or owner. Bedroom windows to meet egress requirements.

TOWN OF CONCEPTION BAY SOUTH  
BUILDING INSPECTION DIVISION  
**PLAN APPROVAL**  
Date: August 16, 2011  
Signed: [Signature]

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designplanning.ca  
753 8169

Residence For

date	drawn by	rjr
B-1097-2		A-1



**FLOOR PLAN** 3/16"=1'-0"

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- Truss plans to be on site for framing inspection  
- Architect Hatch require 2

1958 ft

Site selection and elevations are not available at the time these drawings were completed. Grading to be determined at site and adherence to local codes and conditions are required.  
All wall measurements are to face of stud.  
Window type & sizes shown are approximate only. Search openings to be supplied by manufacturer or owner.  
Bathroom windows to meet specific requirements.  
Trimer partitions 2x4 stud @ 16' o/c unless noted.  
Bearing wall

NOTE: ALL BEDROOMS MUST HAVE ONE WINDOW WHICH WHEN OPEN HAS A CLEARANCE OF A MINIMUM OF 20" ABOVE THE WINDOW SILL AND A MINIMUM OF 18" FROM THE WINDOW TO THE CEILING.

date	drawn by	rlr
B-1097-2		A-3

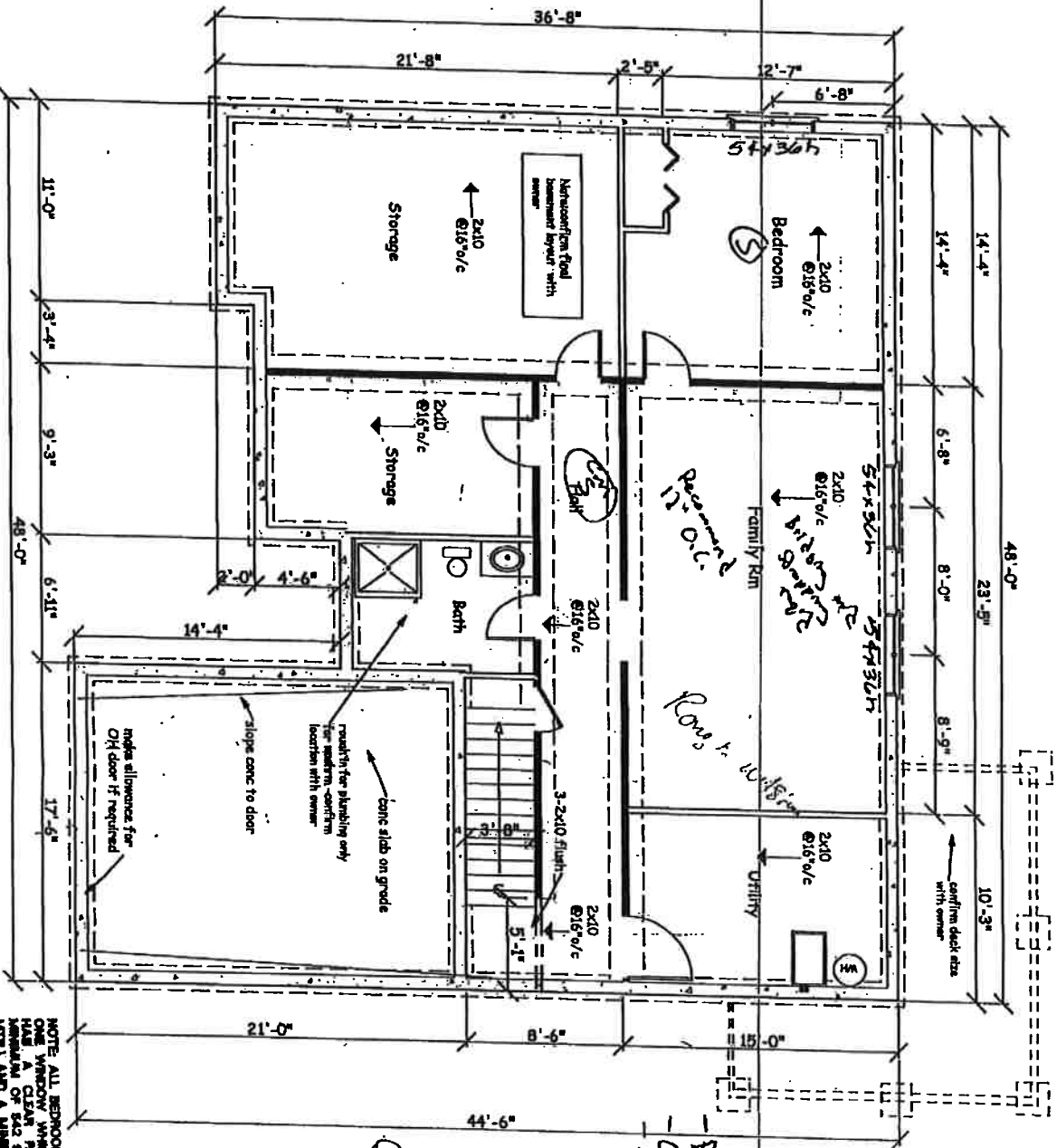
**www.rjrobber.com**  
**designplanning.ca**  
 20 Dundas St. W. #101  
 Toronto, ON M5G 1L7  
 753 8159

**Residence For**

**FOUNDATION PLAN**

3/16"=1'-0"

These drawings are the property of RJ Robbers and cannot be reproduced or used for the construction of more than one project with our permission.



NOTE ALL BEDROOMS MUST HAVE ONE WINDOW WHICH WHEN OPEN HAS A CLEAR PASSAGE OF AIR. MINIMUM OF 24" CLEARANCE ABOVE AND A MINIMUM TRANSPARENCY OF 18% (200 ANSI) MINOR C. 8.7.1.2 (2)

*Basement*  
*2x10*  
*2x12*  
*2x10*

*- Floor Drain Required*  
*- Consider permanent damage for HBV unit*  
*- See spec tables for Basement's, just for*

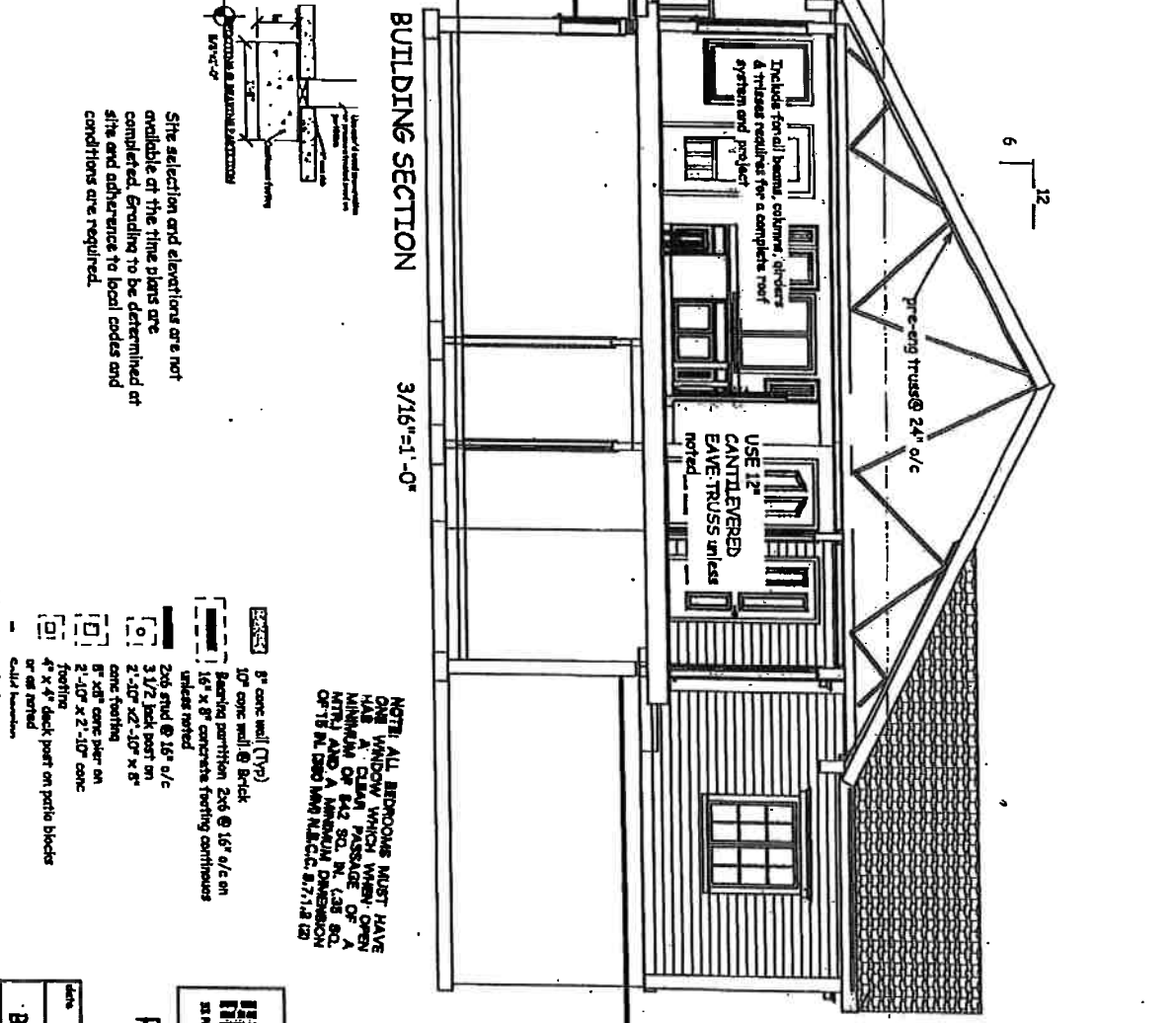
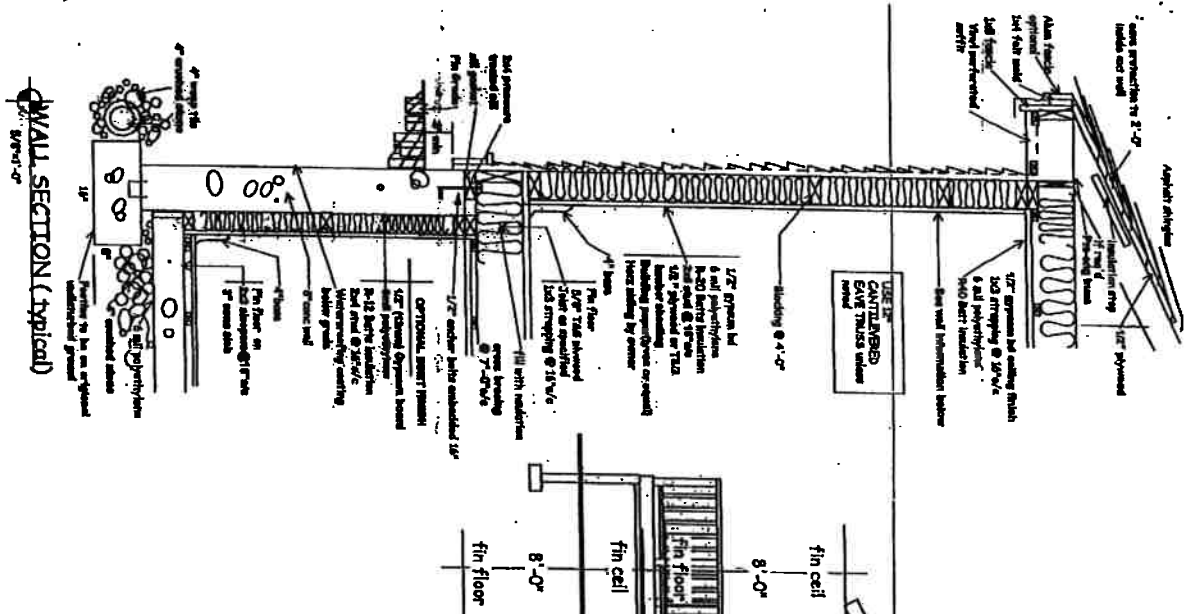
- 8" concrete wall (TYP)
- 10" concrete wall @ 16" o/c
- 16" x 8" concrete footing continuous unless noted
- 2x6 stud @ 16" o/c
- 3/4" jack beam on 2-10" x 2-10" x 8"
- concrete footing
- 8" x 8" concrete pier on 2-10" x 2-10" concrete footing
- 4" x 4" deck post on patio blocks or as noted
- Solid bearing

**GENERAL NOTES**  
All footings to be on undisturbed soil. Contractor to check and verify that all dimensions are correct and report any discrepancies to the owner or designer before proceeding.  
Written dimensions & specifications take precedence over scale drawings. Do not scale drawings.  
Drawings to be used in conjunction with all structural, mechanical, electrical, plumbing & specifications.  
These drawings are the property of RJ Robbers Design Planning Services and cannot be reproduced or used for the construction of more than one project with our permission.

date	designed by	JJR
B-1097-2		A-4

Residence For

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**GENERAL NOTES**

All drawings to be an unframed and Contractor to check and verify that all dimensions are correct and that they are appropriate to the owner or designer before proceeding.

Written dimensions and specifications take precedence over field drawings.

All materials to be as per ABC (American Building Code) unless otherwise specified.

These drawings are the property of RJ Robbere and cannot be reproduced or used for the construction of more than one project without our permission.

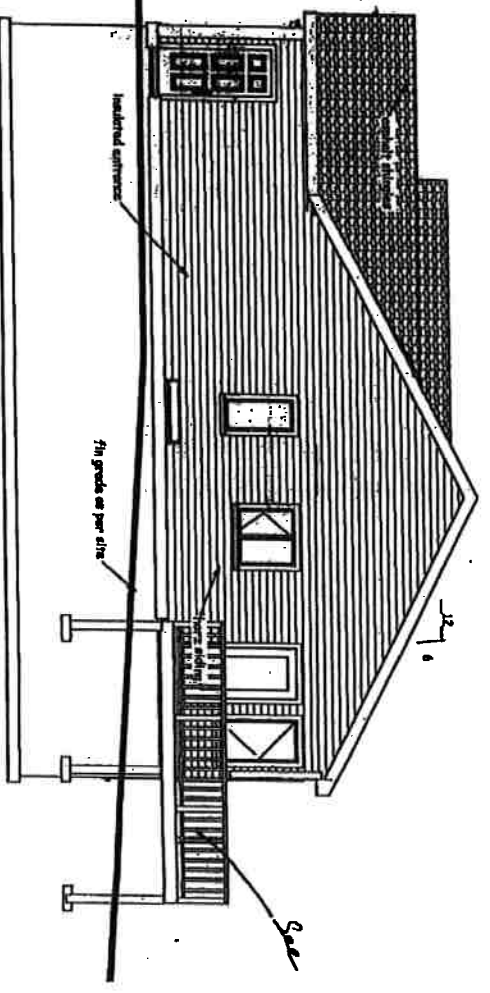
**WWW.RJROBBERE**  
**designplanning.ca**  
 700 8169  
 2010-10-10

**Residence For**

Date: \_\_\_\_\_  
 Drawn by: **JR**  
**B-1097-2**  
**A-5**

RIGHT ELEVATION

1/8"=1'-0"



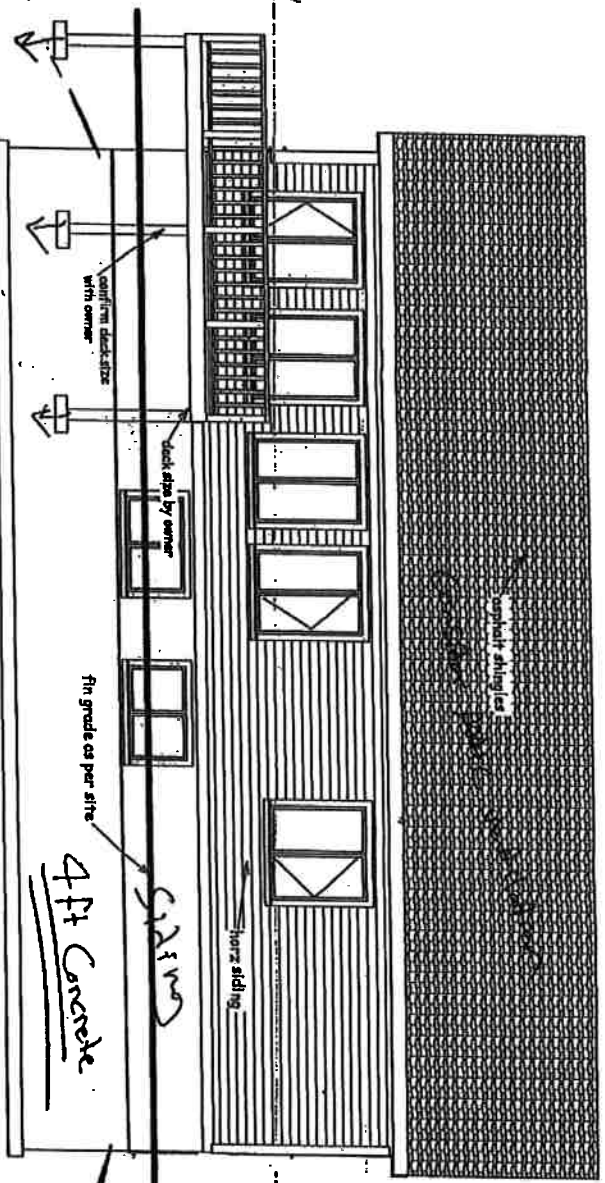
These drawings are the property of RJ Robere and cannot be reproduced or used for the construction of more than one project with our permission.

NOTE: ALL BEDROOMS MUST HAVE ONE WINDOW WHICH WHEN OPEN HAS A CLEAR PASSAGE OF A MINIMUM OF 642 SQ. IN. (28 SQ. FT.) AND A WINDOW DIMENSION OF 18 IN. (600 MM) MIN. I.R.C.C. 9.7.1.2 (B)

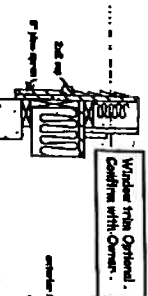
*See Deck Requirements*

REAR ELEVATION

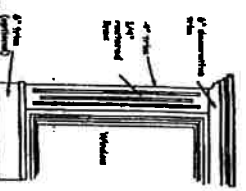
3/16"=1'-0"



WOOD TRIM EAVE DETAIL



WOOD TRIM @ WINDOW



WOOD BASE DETAIL



Site selection and elevations are not applicable of the time these are completed. Grading to be determined of site and adherence to local codes and conditions are required.  
 All wall measurements are to face of stud.  
 Window Type & sizes shown are approximate only. Final quotation to be supplied by manufacturer or owner.  
 Bedroom Windows to meet egress requirements.

Drawn by	RF
Date	
B-1097-2	A-2

Residence For


  
[www.rjrobere.com](http://www.rjrobere.com)
  
 25 Bayview Ave. Suite 101

755 8169